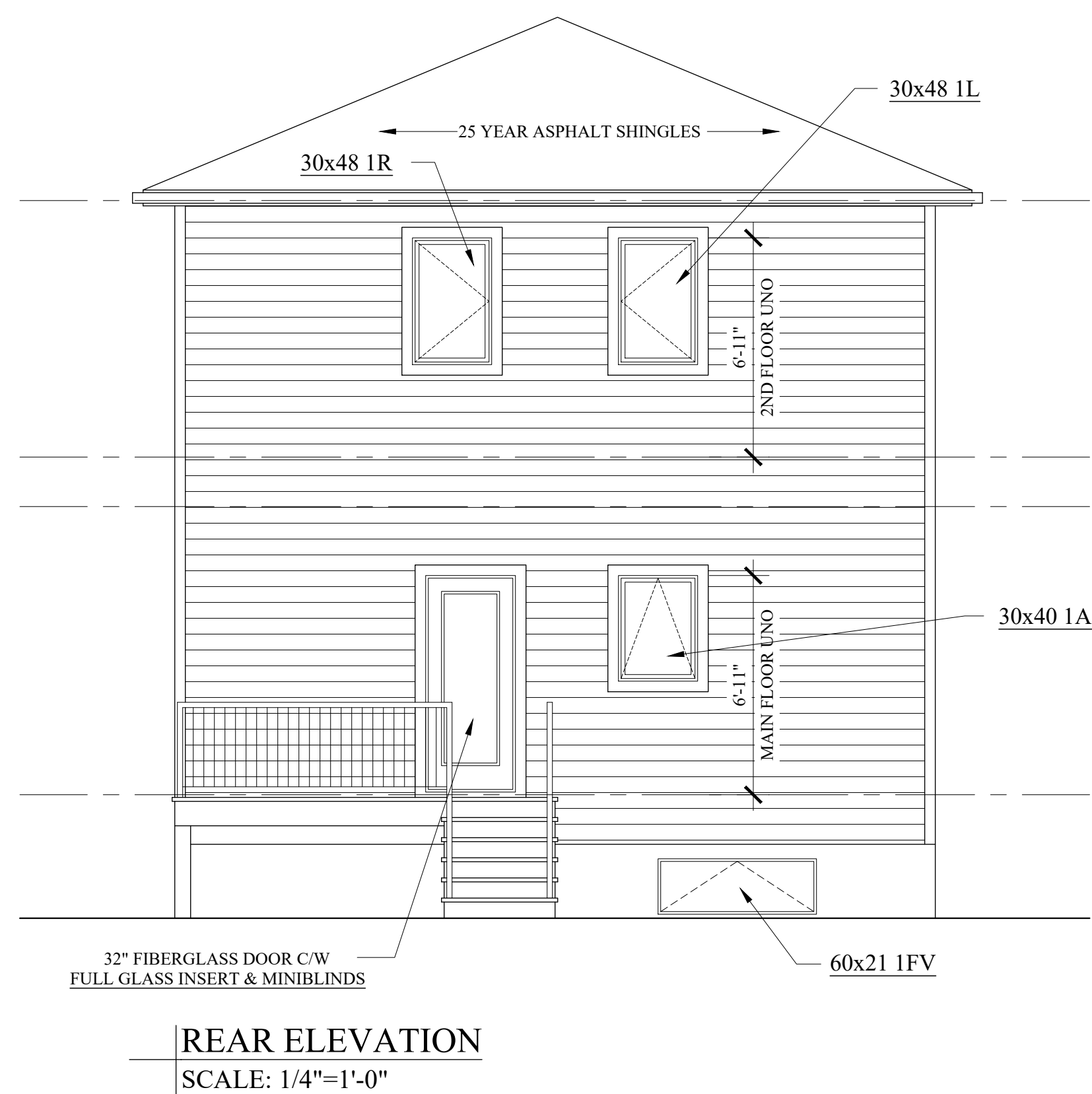
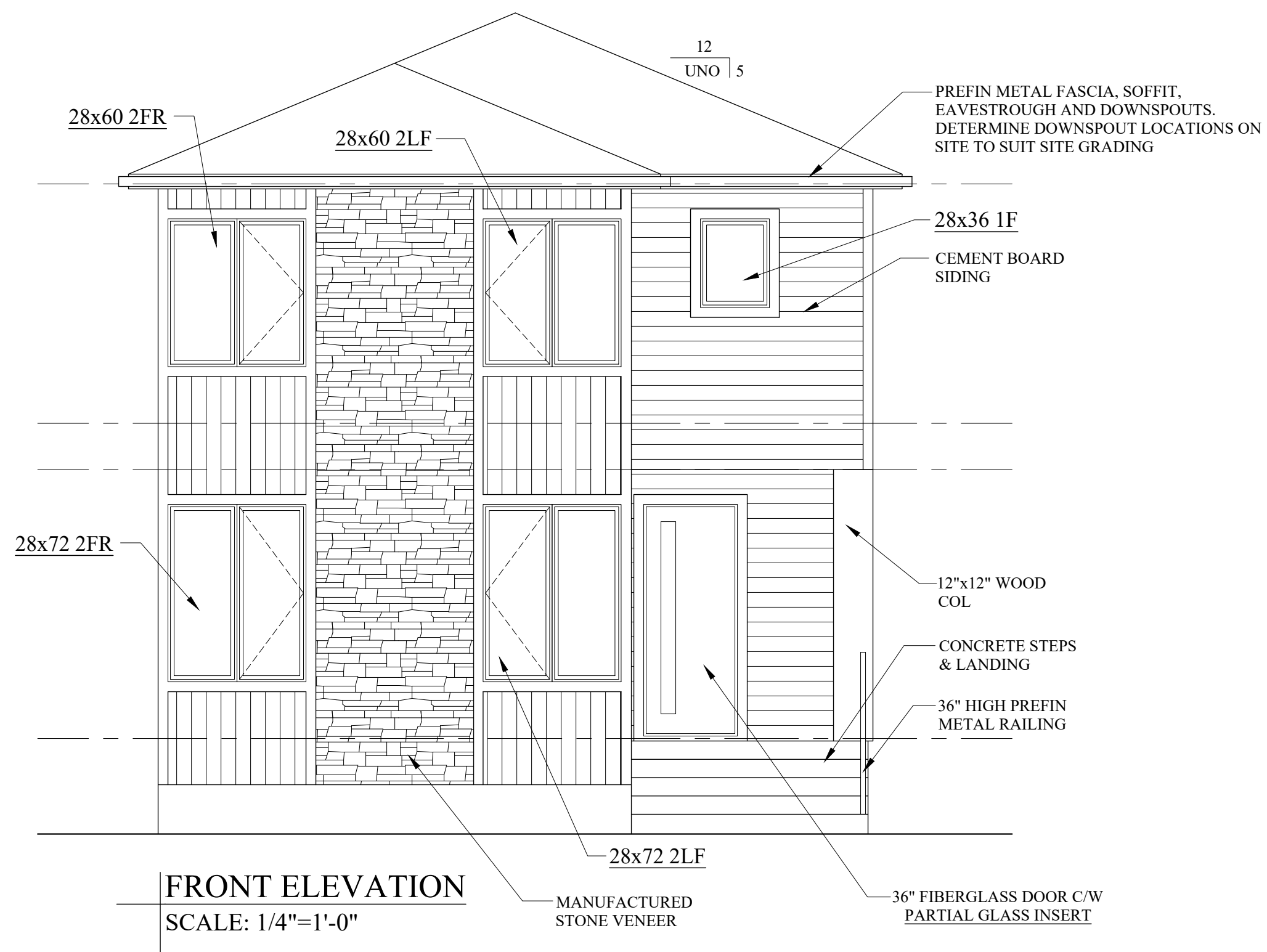


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PROJECT
NERLAND RESIDENCE
Civic Address
MOOSE JAW, SASK
Lot # -----
Block # -----

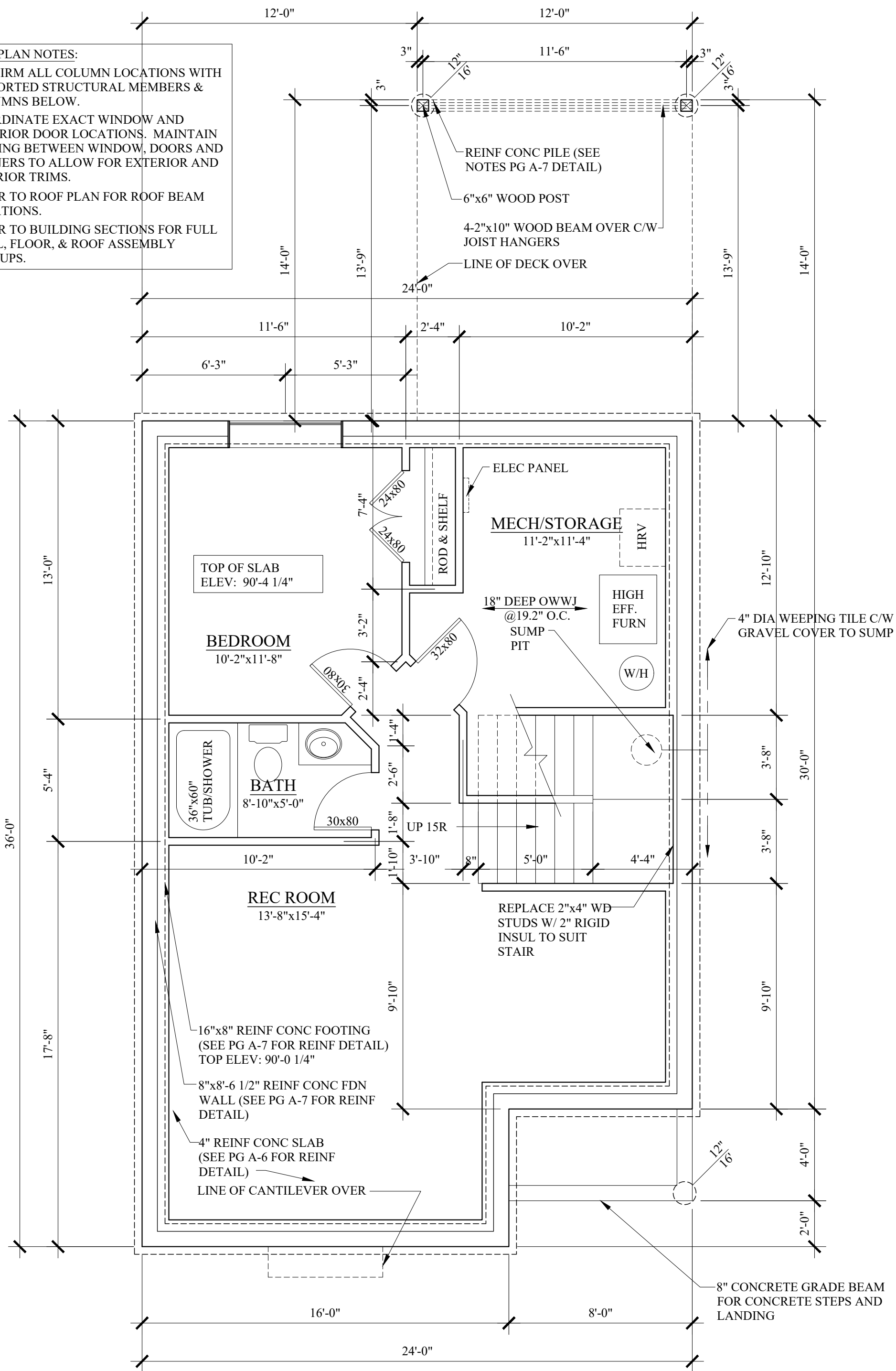
DRAWING
EXTERIOR
ELEVATIONS

SCALE
1/4" = 1'-0"

DESIGN • DJW
DRAWN • DJW
DATE • APR 20, 2021
PROJECT • 021-003

SHEET NO • REVISION
A-1 | **R-0**

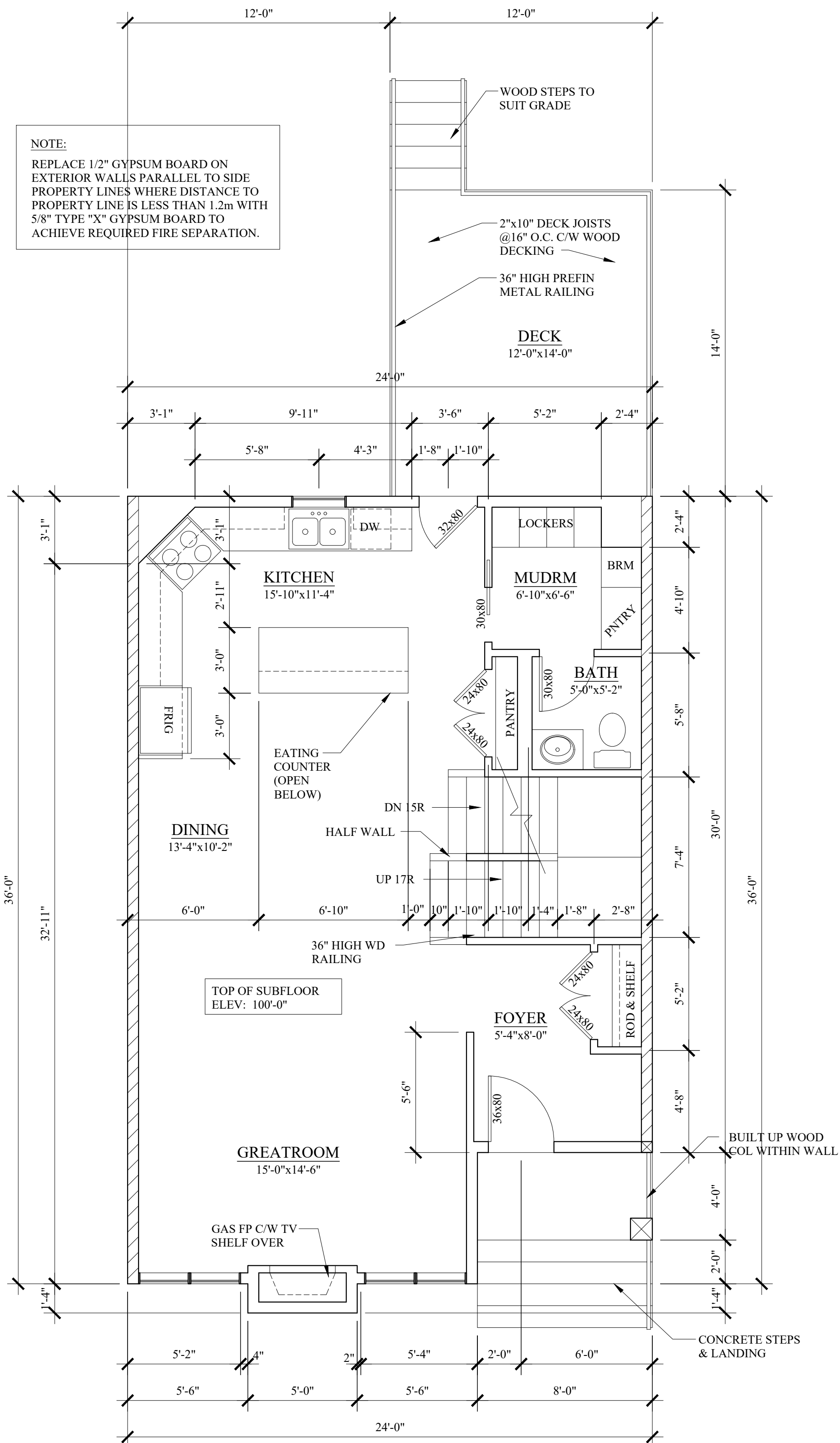
- FLOOR PLAN NOTES:**
1. CONFIRM ALL COLUMN LOCATIONS WITH SUPPORTED STRUCTURAL MEMBERS & COLUMNS BELOW.
 2. COORDINATE EXACT WINDOW AND EXTERIOR DOOR LOCATIONS. MAINTAIN SPACING BETWEEN WINDOW, DOORS AND CORNERS TO ALLOW FOR EXTERIOR AND INTERIOR TRIMS.
 3. REFER TO ROOF PLAN FOR ROOF BEAM LOCATIONS.
 4. REFER TO BUILDING SECTIONS FOR FULL WALL, FLOOR, & ROOF ASSEMBLY CALLUPS.



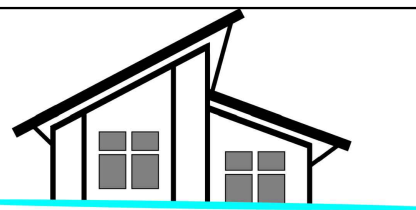
BASEMENT PLAN
SCALE: 1/4"=1'-0"
AREA: 816 SQ FT

- BASEMENT NOTES:**
1. REFER TO SECTIONS FOR FULL WALL & FLOOR ASSEMBLIES.
 2. ELECTRICAL/MECHANICAL EQUIPMENT LOCATIONS SUBJECT TO CHANGE AT CONTRACTORS DISCRETION.

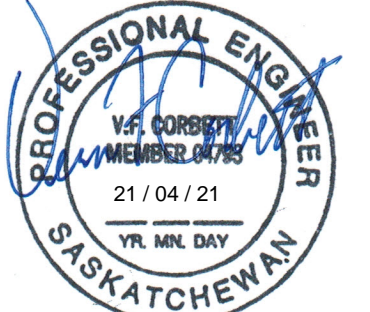
- NOTE:**
- REPLACE 1/2" GYPSUM BOARD ON EXTERIOR WALLS PARALLEL TO SIDE PROPERTY LINES WHERE DISTANCE TO PROPERTY LINE IS LESS THAN 1.2m WITH 5/8" TYPE "X" GYPSUM BOARD TO ACHIEVE REQUIRED FIRE SEPARATION.



MAIN FLOOR PLAN
SCALE: 1/4"=1'-0"
AREA: 816 SQ FT



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Designs Inc.



Vern Corbett, P. Eng. (306) 630-0055
Consulting Engineer verncorbett@shaw.ca

PROJECT
NERLAND RESIDENCE
Civic Address
MOOSE JAW, SASK
Lot # -----
Block # -----

DRAWING
BASEMENT PLAN
MAIN FLOOR PLAN

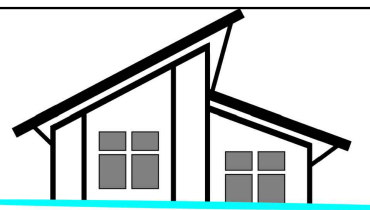
SCALE
1/4" = 1'-0"

DESIGN • DJW
DRAWN • DJW
DATE • FEB 22, 2021
PROJECT • 021-003

SHEET NO • REVISION

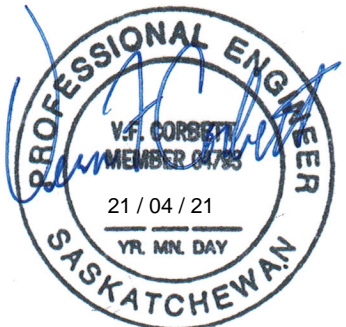
A-3 | **R-0**

Association of Professional Engineers & Geoscientists
of Saskatchewan
CERTIFICATE OF AUTHORIZATION
101211704 Saskatchewan Ltd.
Number 26760
Permission to Consult held by:
Discipline Civil Sk. Reg. No. 4793 Signature Vern Corbett



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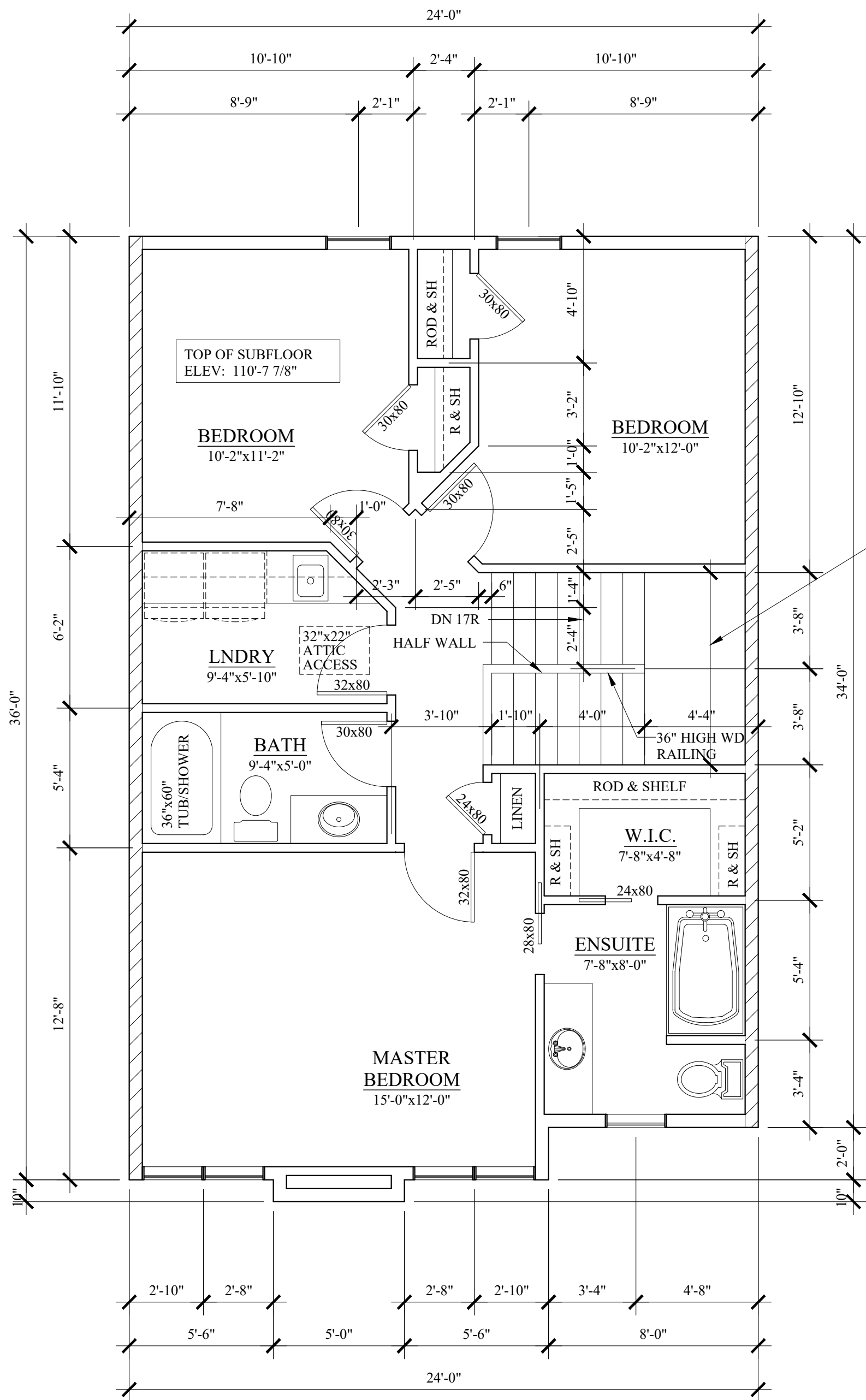
PROJECT
NERLAND RESIDENCE
Civic Address
MOOSE JAW, SASK
Lot # -----
Block # -----

DRAWING
SECOND FLOOR
PLAN
ROOF PLAN

SCALE
1/4" = 1'-0"

DESIGN • DJW
DRAWN • DJW
DATE • APR 20, 2021
PROJECT • 021-003

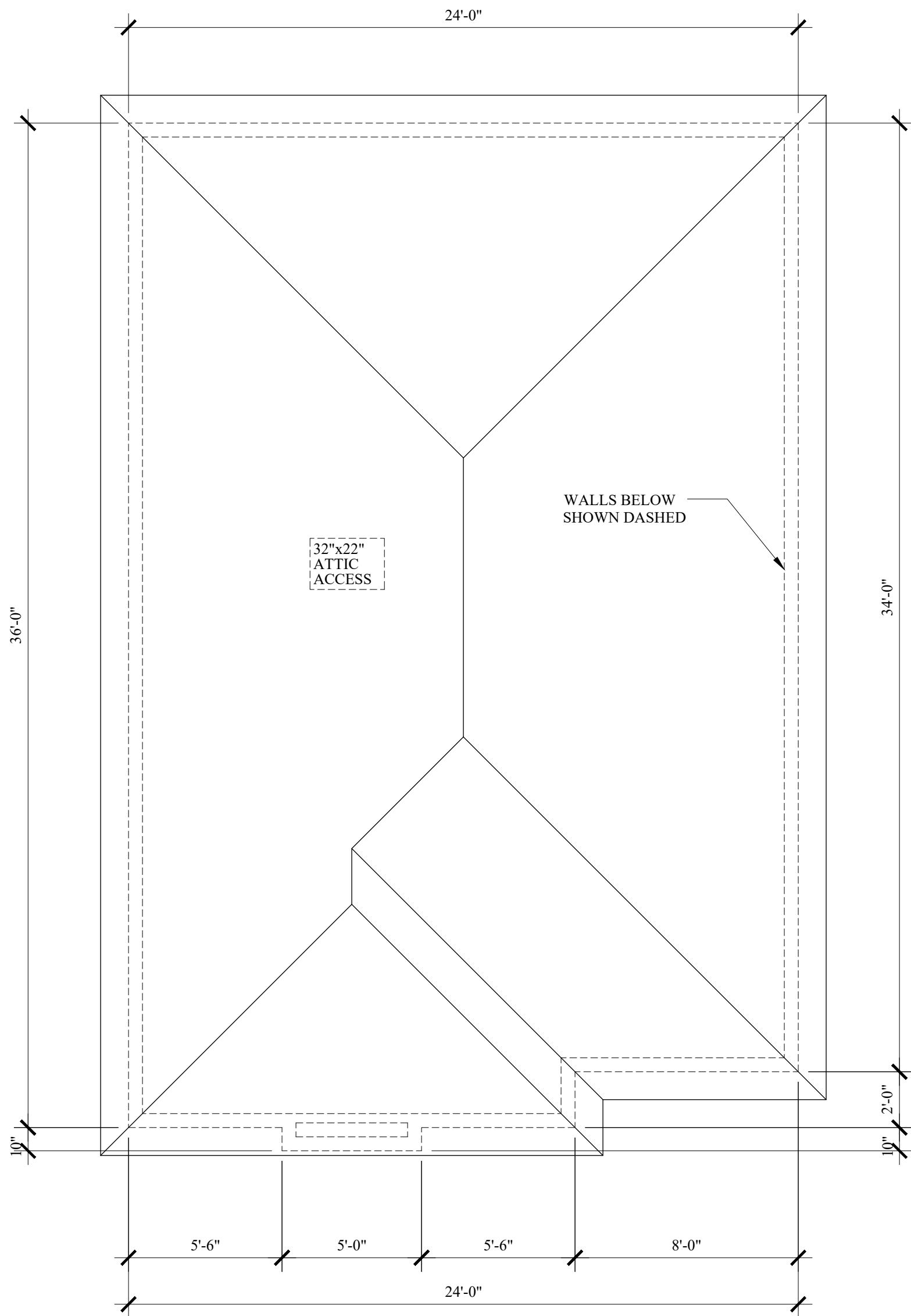
SHEET NO • REVISION
A-4 | **R-0**



2ND FLOOR PLAN
SCALE: 1/4"=1'-0"
AREA: 848 SQ FT

NOTE:
REPLACE 1/2" GYPSUM BOARD ON EXTERIOR WALLS PARALLEL TO SIDE PROPERTY LINES WHERE DISTANCE TO PROPERTY LINE IS LESS THAN 1.2m WITH 5/8" TYPE "X" GYPSUM BOARD TO ACHIEVE REQUIRED FIRE SEPARATION.

INCREASE WALL STUDS TO 12" O.C. IN THIS REGION



ROOF PLAN
SCALE: 1/4"=1'-0"

ROOF NOTES:
1. ALL ROOF SLOPES ARE 5:12 UNLESS NOTED OTHERWISE.
2. ALL ROOF OVERHANGS ARE 1'-0" UNLESS NOTED OTHERWISE.
3. ROOF VENTING AND NUMBER OF VENTS AS PER NBC 2015.
4. PROVIDE NON VENTED SOFFITS FOR ALL SOFFITS THAT PROJECT TO LESS THAN 1.2 METERS FROM THE PROPERTY LINE AS PER NBC 9.10.15.5(10)